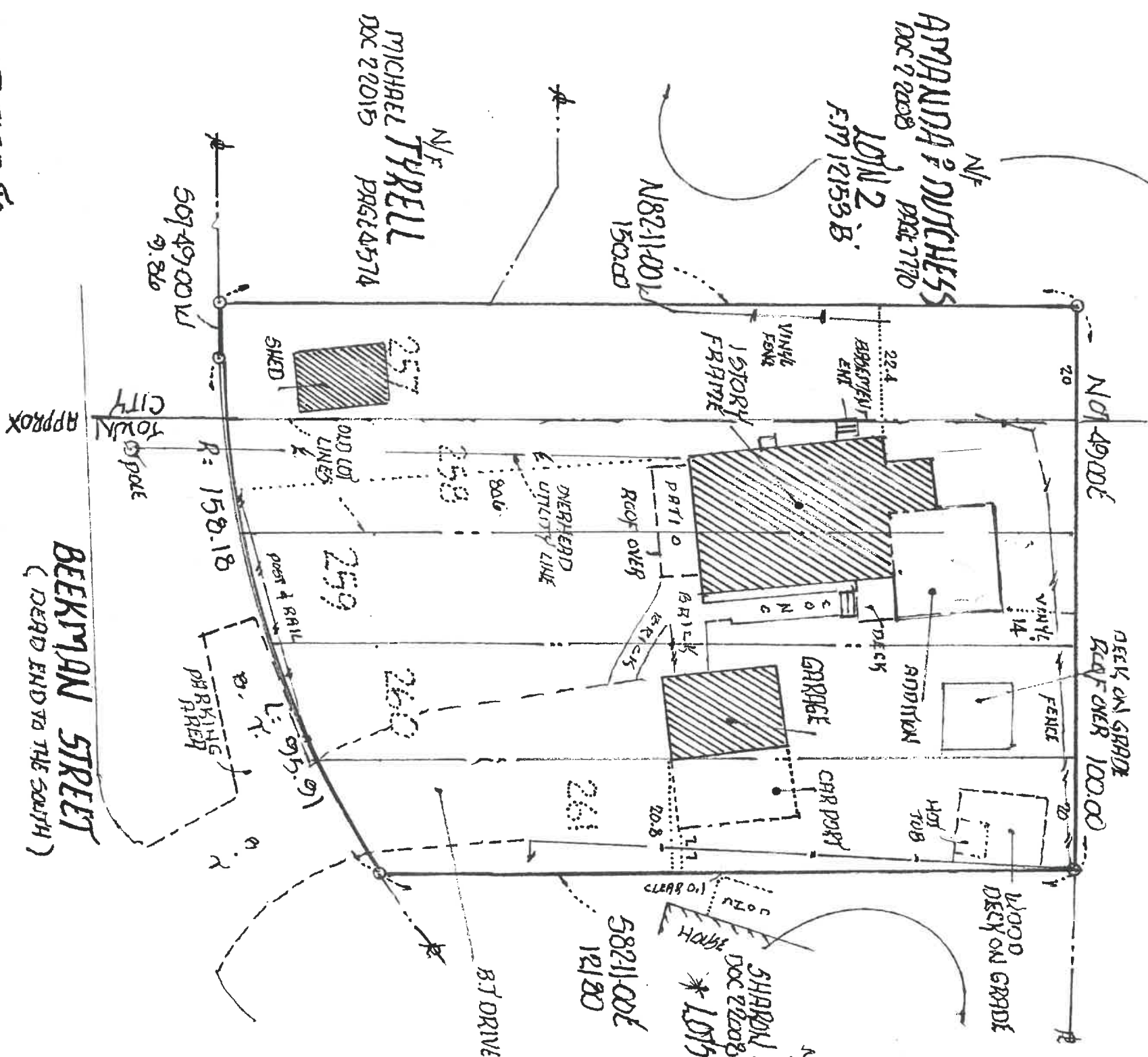




FM 1327

HIGHWAY DISPLAYS INC.
LIBER 1689
PAGE 375



N/P
MICHAEL TYRELL
DOC 22015 PRG 4574

N/P
APPANDA DUTCHESS
DOC 22008 PRG 7770
LOT 2
FM 12153 B

N/P
SHARON HAYES
DOC 22008 PRG 7468
* LOT 5 262 - 264
5821100E
12120

CERTIFIED TO:
PHILIP CRIMI
TOWN OF POLYHKEEPSIE

AREA 0.326 ACRES
SURVEY: TAX PARCEL
6162-09-040545 (TOWN)
041541 (CITY)

*
35 BEEKMAN STREET
LOT 5 257 - 261 FM 1327
PROPERTY OF
ALBERT E. TOWLER

MAP OF SURVEY
FOR

35 BEEKMAN STREET



LC No 49307

SCALE 1"=20'	TOWN & CITY POLYHKEEPSIE
DATE 7/20/22	
DUTCHESS COUNTY NEW YORK	
ROBERT L. CAMPBELL L.S.	
21 MC GUIRE AVE RHINEBECK, N.Y.	
	2022.071

General Construction Notes

- All work on drawings shall be performed in accordance with requirements stated on Project Drawings.
- All work shall be performed in conformance with any Municipal, County, State or Federal code or codes having jurisdiction over such work. All application requirements in these regulations shall be followed the same as if noted on the drawings.
- The General Contractor shall be responsible for obtaining all permits required by Federal, State, County or Municipal law and shall include in the contract all required fees.
- The General Contractor shall arrange for elevator or other hoisting facilities (if required) for materials. Arrangements shall be made through building management. General Contractor shall pay all costs for delivery and/or handling of materials associated with Project Construction.
- The General Contractor shall check building opening clearances for delivery of equipment and/or materials (stairs of elevators, doors, corridors etc.).
- The general contractor shall submit fabrication shop drawings for all fabricated items for approval by the Architect in accordance with Construction Drawings. Shop drawings shall include dimensions, thickness, profiles, type of material, method of fastening, relation to adjacent work and all other necessary details to fully describe the items submitted. The Contractor shall assume full responsibility for errors on their drawings.
- Upon completion of the job, the General Contractor shall submit certifications of inspection (where applicable) from the local departments of water supply, gas and electric, local Building Department, and any other governing jurisdictions to demonstrate verification of satisfactory completion of the job.
- The General Contractor shall check and verify all dimensions and conditions at the job site and not by the Architect or as other discrepancies between drawings and field conditions before commencing any work in order to clarify these conditions.
- Eravating items on the job site (i.e. light fixtures, furniture, etc.) not being reused shall be turned over to the Owner or as otherwise directed by the Architect.
- The General Contractor shall erect all necessary temporary solid or drop cloth partitions to protect finished areas while demolition and/or construction is in progress. Care and attention shall be paid by the General Contractor so as to ensure that no damage takes place to the surrounding job site installations.
- In all areas where demolition causes unevenness or voids in floor, the General Contractor shall patch to level floor with existing slab and/or required surface to receive new finished floor.
- The General Contractor shall provide all necessary work to complete coordinate all trades on the job site - including but not limited to general Architectural Work, Electrical, HVAC, etc.
- No work involving extra costs beyond the agreed to scope of the project shall be commenced until all additional costs have been approved by the Owner.
- Electrical and HVAC device locations are shown on drawings for location only. All exact location positions and dimensions are to be confirmed in field or on approved shop drawings.
- The Owner shall approve partition layout in field prior to erection of studs. The General Contractor shall notify the Owner when walls and partitions have been laid out on floor slabs.
- Any substitutes from the Project Drawings must be submitted to the Architect and owner for approval prior to installation. Should the General Contractor find any discrepancy, omission, ambiguity, or conflict in any of the Construction Drawings or be in doubt as to their meaning, he must bring the question to the attention of the Architect before start of construction. The Architect will review the question or request for information (RFI) and if necessary, issue an information clarifying addendum in writing. Neither the Owner nor the Architect will be responsible for work performed from oral instructions.
- Written notification must be submitted for any change by Contractor to Owner for all costs of construction before any work is started. Such notification must indicate date, price, and scope of work.
- The Project Drawings indicate the general scope of the project in terms of the architectural design concept, the overall dimension, the type of systems and an outline of the major architectural elements. The drawings and specifications do not necessarily indicate or describe all items required for the performance and proper completion of the work. Decisions of the Architect as to the items of work included within the scope of the documents shall be final and binding.
- Labels shall be provided for all openings through wall required by mechanical work. Labels shall be installed according to New York State Building Code.
- In mechanical spaces, all pads, curbs, stairs, and locations are approximate to indicate scope of work only. All final locations are subject to final selection and coordination of mechanical equipment.
- All starting points for ceiling and floor grids are to be in the center of spaces unless indicated otherwise on the Drawings.
- All drywall partitions are to be to underside of structure unless noted otherwise. All such studs are to bridge around obstructions as required.
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- All starting points for ceiling and floor grids are to be in the center of spaces unless indicated otherwise on the Drawings.
- All drywall partitions are to be to underside of structure unless noted otherwise. All such studs are to bridge around obstructions as required.
- All architectural construction that has integrated electrical supply is to be secured to structure.
- All surfaces visible through mechanical or architectural slots, louvers, grills, diffusers, etc. are to be painted matte black.
- The locations and elevations of all electrical, fire protection, plumbing, mechanical devices, access doors, panels, etc. are to be coordinate with the Owner prior to installation.
- Final selection of colors is to be made by the owner.
- The General Contractor shall install adequate solid blocking as partition reinforcing for wall and ceiling mounted cabinetry, accessories, acoustic panels and devices, audio/visual equipment, etc.
- Walls shown aligned shall be finished flat and smooth with existing work. Where partitions are shown on the drawings to be aligned with existing columns, the intent is to have a single layer of gypsum in contact with the existing column.

FRAMING NOTES

ALL EXTERIOR NON-WALLS TO BE 2x6 STUD
 ALL NEW INTERIOR WALLS TO BE 2x4 STUD UNLESS NOTED
 EXTERIOR DIMENSION IS TO FACE OF STUD FOUNDATION
 ALL HEADERS DOUBLE 2X10 UNLESS NOTED

DOUBLE JOISTS UNDER WALLS ABOVE THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN
 NUMBER OF JACKS EACH SIDE OF HEADER OR BEAM TO EQUAL NUMBER OF MEMBERS IN HEADER OR BEAM UNLESS NOTED
 BRIDGING IS REQUIRED IN FLOOR JOISTS EVERY 8 FEET
 STRONG BACKS REQUIRED IN ALL CEILING JOIST SPANS
 2X4 ON THE FLAT WITH 2X6 NAILED TO EDGE

FIRESTOPPING NEEDED EVERY 8 FEET VERTICALLY AND EVERY 10 FEET HORIZONTALLY AND ABOVE ALL BEARING WALLS AND BEAMS
 MINIMUM 2" CLEARANCE FROM HEATING EQUIPMENT TO ALL COMBUSTIBLE MATERIAL
 UNLESS NOTED ALL FLOOR JOISTS TO BE #2 LOGS OR LARCH OR BETTER
 ALL CEILING JOISTS AND RAFTERS TO BE #2 SPF OR BETTER

ALL LAMINATED VENEER LUMBER (L.V.L.) JOIST BEAMS AND LVL FLOOR JOISTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS OR SPECIFICATIONS MUST BE REPORTED TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION

CRAWL SPACE ACCESS TO BE MINIMUM 18" X 24" OPENING THROUGH THE FLOOR
 ATTIC OPENING TO BE MINIMUM 22" X 30" EXCEPT IF LARGER AS REQUIRED TO REPLACE EQUIPMENT
 PROVIDE 24" WIDE SOLID FLOOR BETWEEN ATTIC OPENINGS AND ALL EQUIPMENT AND 30" WIDE SERVICE AREA OF FLOORING ON ALL SIDES OF EQUIPMENT
 CENTER ALL DOORS AND WINDOWS IN HALLS AND CLEAR WALL SPACE IN ROOMS UNLESS OTHERWISE NOTED. ALIGN DOORS AND WINDOWS VERTICALLY ABOVE EACH OTHER AS SHOWN ON DRAWINGS

RAILING & STAIR NOTES

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAISERS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4"

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRAB RAILS SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

SECTION 0010
 Definitions
 D.I.F. Dimension in Field
 N.T.S. Not to scale
 A.F.F. Above finished floor

SECTION 0100 GENERAL CONDITIONS
 All construction to comply with the latest edition of the New York State Fire Prevention and Uniform Building Code and New York State Energy Conservation Code.

Notes and dimensions govern. The Contractor shall verify and be responsible for all dimensions. The Contractor shall report any discrepancies in writing to the Architect/Owner. In case of discrepancies between contract documents, the Contractor shall secure instructions from the Architect/Owner before proceeding. The Contractor shall assume full responsibility for proceeding with such work without approval.

These plans and specifications are instruments of service prepared for a particular client and location and may not be used without the expressed permission of the architect.

The Architect will not be responsible for the construction means, methods, techniques, sequences or procedures, or for the safety precautions and programs in connection with the Work and he will be held responsible by the Contractor's failure to carry out the work in accordance with the Contract Documents. It is the express intent of the parties hereto that the Architect is equipped from any liability whatsoever occasioned by the Contractor's failure to carry out the work in accordance with the Contract documents.

The Owner assumes all responsibility for the administration of the working drawings and specifications and for any discrepancies which exist between the drawings, specification, and the actual construction.

WORK INCLUDED

The work comprises the completed construction required by the Contract Document and includes all labor necessary to produce such construction and all materials and equipment incorporated or to be incorporated in such construction. The work shall be governed by the Contract Documents. The Contractor shall examine surfaces and conditions to which this work is to be attached or applied, and notify the Architect/Owner if any conditions or surfaces exist which the Contractor considers detrimental to the proper and expeditious installation of his work. Starting the work shall imply acceptance of the surfaces and conditions to perform the work as specified. The Contractor shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse and distortion. Contractor shall protect all finished work from damage. The Contractor shall maintain the existing building in a weather tight condition throughout the construction period. The Contractor shall repair damage caused by construction operations. The Contractor shall take all precautions necessary to protect the building and its occupants during the construction period. Unless otherwise noted, all materials shall be new and workmanship and materials shall be of good quality. All work shall be accurately and neatly done, properly plumbed, squared, and level. Contractor agrees to select competent subcontractors, material, suppliers, employees, and shall provide and pay for all materials, labor, tools and other items necessary to complete the work as specified.

The responsibility for the safe working conditions at the job site shall be the contractor's and the architect and owner shall not be deemed to any responsibility of liability in connection herewith. The Occupational Safety and Health Act (OSHA) shall be adhered to so work shall be free from hazard.

WORKMANSHIP

Work shall be executed by skilled craftsmen in strict accordance with instructions and recommendations of the manufacturer. The work shall conform to the level of workmanship established by recognized agencies, organizations, and institutes. All installed work shall be accurately and neatly set in place at designated locations. Free from scratches, marks, and other defects. Work shall be installed in its long lengths as practical, with nail, secure plumb joints between members. Exterior work shall be secured with provisions for expansion and contractions and shall be installed in such a manner that will result in watertight or waterproof finish.

The Contractor shall not cut and patch structural elements in a manner that would reduce their load carrying capacity or load deflection ratio. Do not cut and patch construction exposed on the exterior or in occupied spaces, in a manner that would, in the Architect's opinion, reduce the building's aesthetic qualities, or result in visual evidence of cutting and patching.

SECTION 0200 SITE WORK

GENERAL

House, including finished floor heights, driveway, well and sewage disposal system to be located in the field prior to start of construction and to be approved by Owner/Architect.

EXCAVATION, BACK FILLING AND GRADING

The Contractor shall excavate the area as shown on drawings. Excavation shall be executed with minimal damage to the site. All excavation to be a minimum of 4" below grade or as shown on drawing. Removes all topsoil over the building area. Back fill material shall be gravel free from rubbish, dirt, sod, roots, or artificial material. Final grade as shown on the drawing with stockpiled topsoil or at the direction of the Owner. Final grading to be in such a way as to allow water to flow away from the house and so as not to cause ponding. Maintain and protect newly graded areas from elements by use of straw, silt, erosion mats or other suitable materials.

FOOTING DRAINS

footing drains as shown on drawings along entire perimeter of house shall be provided, discharging to daylight at locations to be reviewed and accepted by Architect or owner. sump pump if daylight cannot be achieved at the site.

SECTION 0300 CONCRETE

CODES AND STANDARDS

Comply with the American Concrete Institute "Guide to Residential Cast-in-Place Concrete Construction" (ACI 221R-84); Concrete Forming;

255C PSI to bear on undisturbed soil as shown on drawings 3-4" below grade or to rock. Footing design based on minimum soil bearing value of 4000 lb/sq ft. If soil of lower bearing value or if conditions indicating disturbed soil or buried debris are found, the work shall be stopped until foundation design can be reevaluated. Maintain pads in a dry and stable condition until concrete work is performed. All water shall be removed from trenches and foundations before placing the concrete. Install #4 diameter reinforcing bar 2 rows per footing. All excess concrete is to be removed from site.

Concrete Foundation

JOB CONDITIONS

Environmental Conditions

- When extreme hot or cold weather conditions occur, or are expected to occur, which might detrimentally affect concrete, employ handling and placing techniques to guard against such effects. Consult with the recommendations of American Concrete Institute for hot and cold weather concreting. ACI publications ACI 308 and ACI 310.
- Inclement Weather: Unless adequate protection is provided, do not place exterior concrete during rain, sleet or snow.
- Do not use calcium chloride or add materials containing soluble chloride.

REINFORCEMENTS

- All anchors shall be Sanyon MA-4 and MA-6 or equal.
- Reinforcing steel shall be deformed bars conforming to ASTM A615, grade 40.

CONCRETE

- All concrete shall be Fc = 3500 psi (ultimate compressive strength at 28 days) made to normal weight (stone) aggregate.
- Maximum concrete slump shall be 4"

EXECUTION

- Remove all wood scraps, ice, snow, frost, standing water and debris from the areas in which the concrete will be placed.
- All concrete framework and/or block work shall be adequately tied together and braced to form true lines, square corners, and plumb walls.
- All footings shall be placed directly on virgin soil. Adjust bottom of footing elevations as required, including stepped footings at northeast walls.

D. All exterior footings shall be placed at a minimum of 4'-0" below final grade. Contractor shall verify front line with local Building Department Officials.

E. Do not place backfill against foundation wall until all floors bracing these walls are in place.

F. Reinforcing steel shall be placed to provide the following minimum concrete cover: 3" at footings, 2" at walls.

SECTION 0500 STEEL

Framing Anchors

Provide galvanized metal framing connection as shown in contract drawings. Manufacturer to be Teac, Washington, D.C. or equal. Install to manufacturer's specifications.

SECTION 0900 WOODS & PLASTICS

Rough Carpentry

Wood framing shall provide construction which will assure safe support of all design loads and provide a suitable base for attachment of sheathing and/or finish materials. All framing lumber to be Fb single = 1000 min. #2 SPF or better. Fc per minimum 385 psi, modulus of elasticity minimum 1,300,000. All studs and plates #2 SPF or better.

All nailing to follow New York State Building Code. All notching and drilling of joists to follow New York State Code recommendations. All jack stud requirements to follow New York State Code recommendations or as shown on plans. Splicing of vertical members is not permitted. Splicing of horizontal members is permitted only over bearing points. All lumber in contact with concrete to be pressure treated. Install Dow nail seal as required. Rough hardware used for anchorage of wood blocking and framing shall consist of nails, screws, bolts and nuts, and the like of types and sizes best suited for each particular condition. Where rough hardware items may be exposed to humidity's of 50 percent or greater, they shall be of non-combustible.

Floor Framing

As shown on drawings: Wood bridging at mid span, maximum 8'0" on center. Install all joists crown up. Firestopping as required by New York State Code. Deck sheathing as shown on drawings. Minimum subfloor to be 3/4" Tongue and Groove Oriented Strand Board (OSB).

Minimum subfloor under tile 1/4" thick with top layer to be 3/4" ply grade fir plywood. Nailing of plywood to follow National Plywood Association standards.

Wall Framing

As shown on drawings: A frame studs to be detailed as shown, 2x6/2x4 studs to be 18" O.C. Firestoppping as required by New York State Code. 7/16" ZIP WALL BOARD on all exterior walls. Headers as shown on drawings.

Ceiling and Roof Framing

As shown on Drawings: 1/2" ZIP WALL SHEATHING on roof. Install with aluminum H clips when greater than 18" centers.

EXTERIOR FINISH

Siding

Furnish necessary labor, material, and equipment for complete installation of siding and trim as shown on drawings. Siding to be determined by Owner. Siding and trim shall be stored on a flat surface. Application of siding and trim members shall be in accordance with the best practice in accordance with the latest edition of installation instructions prepared by the American Vinyl Institute. All joints and members to be true and plumb.

Soffit

Install vertical soffit as shown on drawings. Final Material and manufacturer to be determined by Owner and install to manufacturer's specifications and all good practices of the trade.

INTERIOR FINISH

TRIM

Trim all windows, doors, base, closets. All work shall be accurately and neatly done, properly plumbed, squared and leveled with light joints. Produce finish carpentry and finish millwork in best.

SECTION 0700 THERMAL & MOISTURE PROTECTION

manner known to trade. Install as long as length as practical. All nails to be set.

ROOFING

Install #255 regular 3 tab 25 year fiberglass shingles over 15# felt paper to manufacturer's specifications. Install colored aluminum drip edge all edges, install aluminum step flashing where required. F slope 2" to 4" per foot, install a double layer of Shingle Underlayment or it's equivalent by Felt applying a 1" wide strip along the eaves. Overlaping the eaves 3/4" to 1". Over this starter apply a full 36" wide sheet. Continue with 36" wide sheets lapping each 10" over the preceding course. Secure with sufficient fasteners to hold in place until shingles are applied. End laps are to be 12" wide and offset from course to course. Where there is a possibility of long along the eaves causing a back up of water, soddy cement the courses of shingle underlayment in each other with asphalt plastic cement from exers to at least 24" beyond the interior wall line, and in areas of severe slope, at least up to the highest water level expected to occur from ice dams. Contractor to provide staples. Install RidgeLine Ridgecap along length of ridge.

FLASHING

Under all slabs on grade, install sheet polyethylene film, 60B inch (8 mil) thick, widest widths available.

All concrete block walls shall be treated with 2 coats of waterproof cement or liquid membrane waterproofing from footing to sill, protect from footing through backfill operations.

Furnish and install 6 mil polyethylene at walls surrounding all bath tubs and shower, over studs, under cementitious backer board, ice and water shield membrane film shall be installed in three foot widths at all eaves and valleys of cedar shingle roofs.

Chimney flashings shall run up not less than 6" under shingles. Counter flashings shall extend to a width 1" of the surface of the finished roof. Sit the roof cricket, flashing shall be carried not less than 10" under the shingles.

Dormer flashings shall run up not less than 7" under the shingles and at least 8" up on the face and cheeks.

Shingle flashings at all roof penetrations.

Step flashings shall be used where vertical surface occur in connection with slopes. They shall be formed of separate pieces and shall turn up not less than 4" at any point. They shall be built into masonry and shall lap 3". Follow the joints of masonry and shall be installed in registers cut into these joints.

Valley flashings shall extend at least 10" on each side. Shingles shall be installed to lap the valley flashing not less than 7" on each side.

GUTTERS AND DOWNSPOUTS

Seamless aluminum gutters and downspouts installed with spikes and ferrules. Install downspouts as required to carry water away from the house. Location of all downspout to be approved by owner.

CAULKING

Colors for exposed materials to match adjoining colors. Joints shall be clean prior to installation. Completed work shall be neat and uniform in appearance.

INSULATION

Pack insulation around all windows and doors. Install insulation in a neat manner. All joints to be tight. Fill all areas possible.

Walls - R21 Fiberglass Batt Insulation
 Flat Ceiling - R49 Fiberglass Batt Insulation
 Great Room Ceiling - R30 Fiberglass Batt Insulation
 Floor - R30 Fiberglass Batt Insulation

SECTION 0800 DOORS/WINDOWS/GLASS

EXTERIOR DOOR

Exterior front door to be installed in full weather stopped jamb. Glass shall be double pane High Performance insulating glass. Dexter or equal. Insects and deadbugs - single pin door stop.

INTERIOR DOORS

Interior doors to be set in pure jambs and stop, three hinges, Dexter or equal locksets and hinge pin door stop.

WINDOWS

Windows to be Andersen 200 series for saving. Glass shall be double pane High u = .30 or better Performance insulating glass. Venting sash shall be finished with an insect screen and clear pin exterior jambs. Install gaskets. Install according to manufacturer's instructions.

SECTION 0900 FINISHES

GYPSUM BOARD

All surfaces 1/2" gypsum board install in as long as lengths as practical, installed with screws, metal exterior corners, reinforced paper interior corners, three coats compound sanded smooth. Install fire code gypsum board as required to meet the Building Code.

SCHEDULE FOR ROOM FINISHES - Room finishes to be determined by Owner.

CERAMIC TILE

Ceramic tile with color grout over thinset mortar bed prepared and installed by contractor. Material allowance of \$5.00 per square foot for tile and grout. Marble saddle at door. Tile or walls to no ceramic tile with color grout over thinset mortar bed over cement board installed by contractor. Report to Owner conditions encountered in field which would prevent proper installation of material. Install to manufacturer's standards and all good practices of the trade.

WOOD FLOORING

Oak Floor

Install 1 1/2" x 3/4" strip oak flooring, tongue and groove, random length, clear and better grades. Install to National Oak Floor's recommendations. Open bundles and allow to acclimate prior to installation. Finish by sanding smooth with coarse and fine grits. Screen floor with 100 grit screen. Finish with two coats waterborne, nonyellowing Swedish finish in glass. Finish screening between second and third coat.

VINYL AND LAMINATE

To be supplied and installed by owner. Subbase to be cleaned by contractor and approved by installer. Report to owner conditions encountered in field which prevent the proper installation of material. Subbase over existing flooring to be 3/8" insulating grade plywood, verify with vinyl installer.

CARPET

To be supplied and installed by owner. Subbase to be cleaned by Contractor and approved by installer. Report to owner conditions encountered in field which prevent the proper installation of material.

FLOOR FINISH-TREATMENT

Protect flooring after finish until end of project. Repair and/or replace damage due to construction.

PAINTING

Paint colors to be determined by Owner. Contractor to assume for purposes of estimate three wall colors with all ceilings to be flat, ceiling white. Contractor to verify final paint schedule with owner in writing prior to priming.

EXTERIOR WOODWORK

All nails to be set and holes to be putty to match, sand all surfaces smooth. All marks to be removed. Prime all boards prior to installation both sides with one coat of based primer. Finish all wood with two coats Benjamin Moore Aquaglo exterior latex paint. Apply paint evenly and smoothly by brush and roller. Use of red, dust, sand, or brush marks.

WALLS

Finish with one coat latex primer and two coats Benjamin Moore Aquavelvet latex paint. Apply paint evenly and smoothly by brush and roller. Free of voids, rips, sags, or brush marks.

INTERIOR WOODWORK

All nails to be set and holes putty to match, sand all surfaces smooth. All marks to be removed. Finish with one coat of based sand, and two coats 17 notes sanded primer.

SECTION 1500 MECHANICAL

HEATING AND AIR CONDITIONING

Heating and air conditioning system including all equipment ductwork, wiring, and plumbing shall be provided and installed by Contractor. Contractor is responsible for coordinating the work and for any padding or changes in the frame work as required.

Contractor shall submit ductwork and piping drawings and Manufacturer's cuts and specifications for all grilles, outlets, ductwork, and heating equipment, prior to installation. Contractor must confirm the location of all ducts, grilles and registers on shop drawings prior to installation.

The following conditions shall be maintained:

Summer: Outdoors 95 degrees
 Indoors 75 degrees
 Winter: Outdoors 0 degrees
 Indoors 68 degrees

Ductwork sized at 0.08" static pressure drop per 100' ft. of ductwork. Construction to be galvanized sheet steel gauges and construction in accordance with SMACNA recommendations, smooth elbows, transitions, minimal turning vanes when required, securely fastened to structure with galvanized straps, minimum two per fitting. Grilles and registers to be sized for maximum noise level. Ducting to be 26 Ga. insulated metal bank ducts and flexible branch ducts. All supply ducts run through unconditioned space will be insulated. System to be installed complete and tested, and ready to operate.

PLUMBING

All plumbing shall be provided and installed by Contractor. Plumb all faucets from water supply with 1/2" PEX pipe to within 3" of faucets. Balance to be 1/2" PEX pipe supply. All sinks, brass water closets and tubs to be neatly caulked and cleaner. All water lines shall be provided with shut-off and control valves necessary for their operation.

Install waste/venting as required by code. Piping to be ABS/PVC for venting and waste lines. All plumbing in slab to be cast into waste piping and type K copper wrapped in Armaflex case insulation. Piping shall not impair the structural safety of the building. All supply and drain pipes shall be kept out of exterior walls and areas where they are subject to freezing. When all plumbing from supply with Armaflex. Contractor is responsible for coordinating the work and for any padding or changes in the framework as required.

Schedule for Plumbing Fixtures

Schedule for plumbing fixtures to be determined by Owner and to comply with New York State Uniform Fire Prevention and Building Code.

SECTION 1600 ELECTRICAL

All electrical work shall be installed to comply with all laws applying to electrical installations in effect in the local community. Where no codes exist the work shall conform with the regulations of the National Electrical Code and the electric utility company serving the area. All materials shall be new and of grade to conform to the standards of the Underwriters Laboratories, Inc. and at the completion of work evidence shall be furnished showing compliance with laws and regulations in effect.

All wiring shall be copper Non-Metallic sheathed cable system. All wiring shall be run in walls and ceiling. Concealed boxes shall be plastic or metal and shall conform to UL standards. Outlets, switch and light locations as shown on drawings are approximate and shall be adjusted to architectural details, job conditions, or as necessary to meet code.

CODE, CLIMATIC AND GEOGRAPHIC CRITERIA

USE OF CLASSIFICATION - SINGLE FAMILY
 TYPE OF CONSTRUCTION - WOOD FRAME
 DESIGN LOAD:
 GROUND SNOW LOAD 40 PSF
 ROOMS OTHER THAN BEDROOMS 40 PSF
 BEDROOMS 30 PSF
 ATTICS WITHOUT STORAGE 10 PSF
 DECKS 40 PSF
 WIND SPEED 115 MPH
 TOPOGRAPHIC EFFECTS: NO
 SPECIAL WIND REGION - YES
 WIND-BORNE DEBRIS ZONE - NO
 SEISMIC DESIGN CATEGORY B
 WEATHERING - SEVERE
 FROST LINE DEPTH - 4F
 TERMITES - MODERATE
 WINTER DESIGN TEMP - 1 degree F
 ICE BARRIER UNDERLAYMENT REQUIRED - YES
 FLOOD HAZARDS - LOCAL LAW
 AIR FREEZING INDEX - 1516
 MEAN ANNUAL TEMP - 48 degrees F
 SCOPE OF WORK

CONSTRUCTION DRAWINGS COMPLY WITH 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE AND 2022 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
 CONSTRUCTION AS DEFINED TO BE AS NEW CONSTRUCTION
 ENERGY CODE COMPLIANCE BY RES-CHECK
 FLAT CEILING - R49
 SLOPED CEILING - R30
 WALLS - R21
 GLAZING - U=0.30 OR BETTER
 DOOR - U=0.10 OR BETTER
 FLOOR - R30

HEATING EQUIPMENT TYPE SHALL BE DETERMINED BY THE HVAC CONTRACTOR

I, MICHAEL E. GILLESPIE, CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE SECTIONS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY			
</- 40	115 MPH	B	SEVERE	48"	MOD.	MOD.	YES	NONE	<1500

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N1	PROJECT NOTES	AUGUST 10, 2022
E1	HOUSE ELEVATIONS	AUGUST 10, 2022
E2	CARPENT ELEVATIONS	AUGUST 10, 2022
F1	FOUNDATION PLAN	AUGUST 10, 2022
P2	FIRST FLOOR PLAN & ROOF PLAN	AUGUST 10, 2022
W1	WALL DETAILS	AUGUST 10, 2022

AS-BUILT RESIDENTIAL ADDITION & CARPORT

35 BEEKMAN ST., TOWN OF Poughkeepsie, NEW YORK - JULY 15, 2022

P. CRIMI

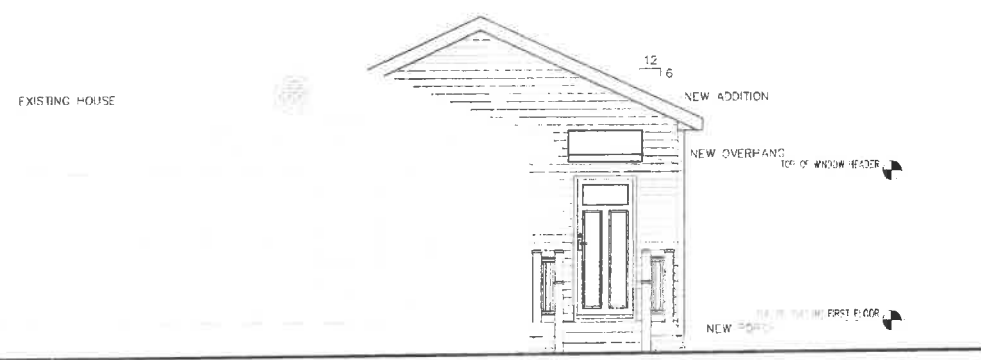
M. GILLESPIE & ASSOCIATES
 CONSULTING ENGINEERING, P.L.L.C.
 687 ROUTE 92, SUITE 100, BARSTADEN, NY 12520
 WWW.GILLESPIEASSOCIATES.COM

PROJECT No. 2022-126
 DRAWN BY P.B.
 CHECKED BY M.E.G.
 REVISIONS

NYSPE #074666

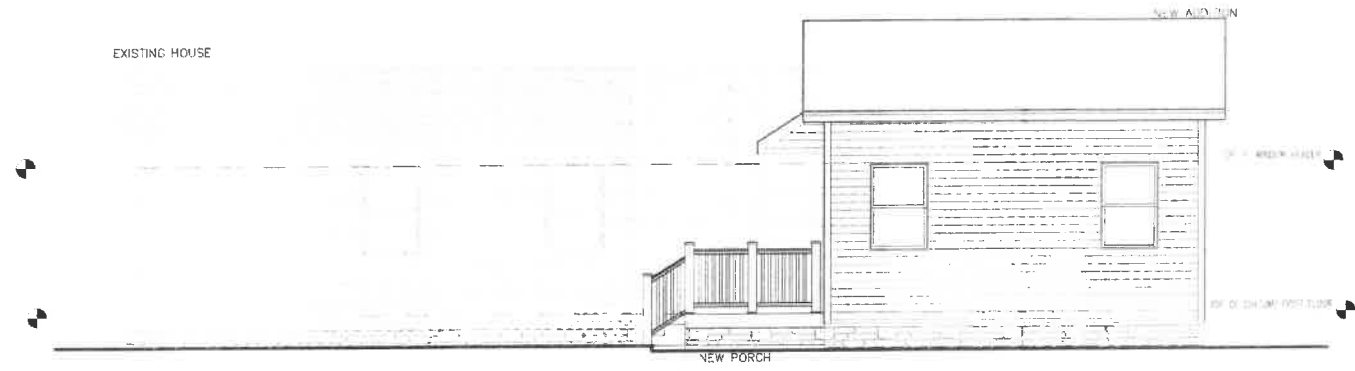
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N1



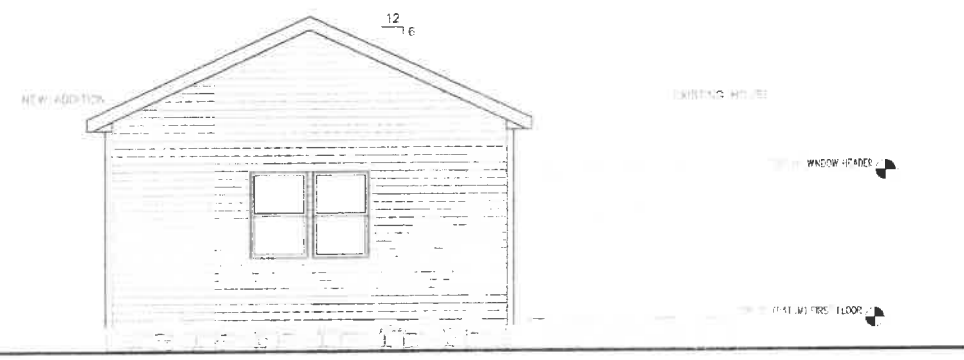
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



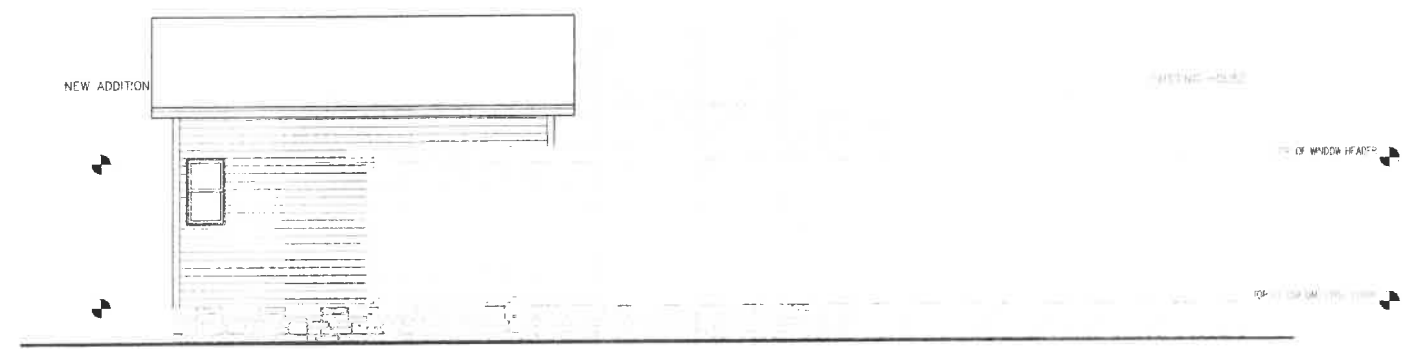
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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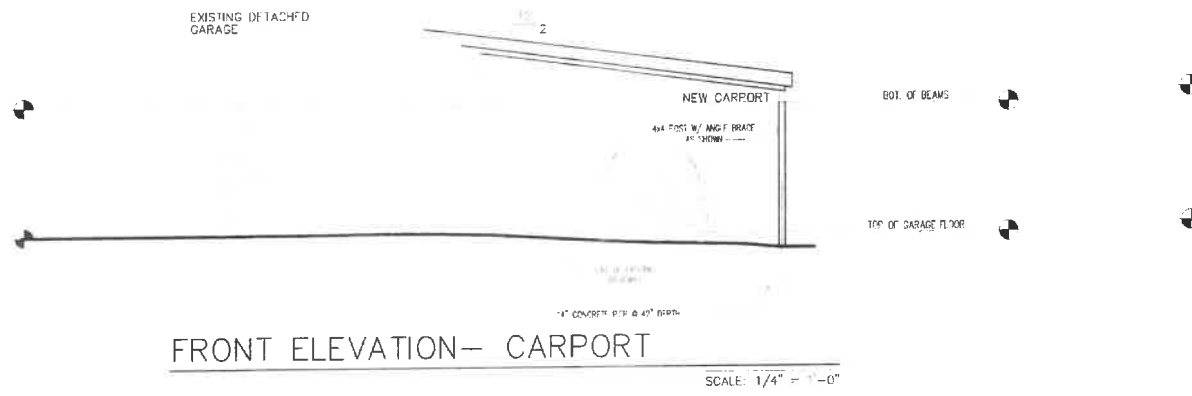
PROJECT NO.	2022128
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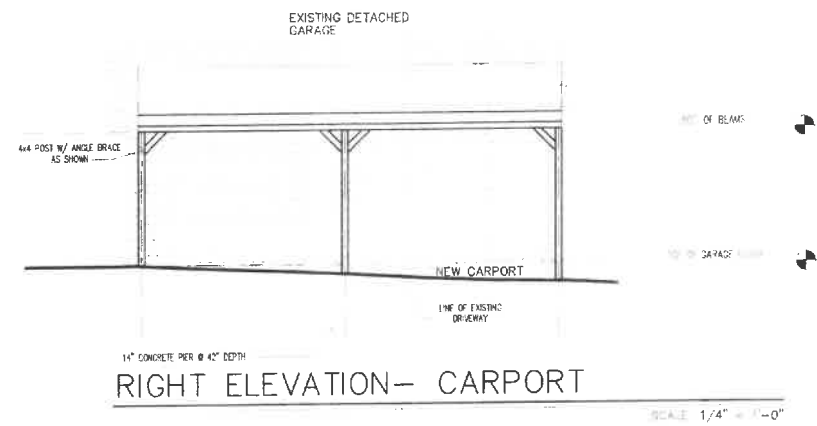
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E1



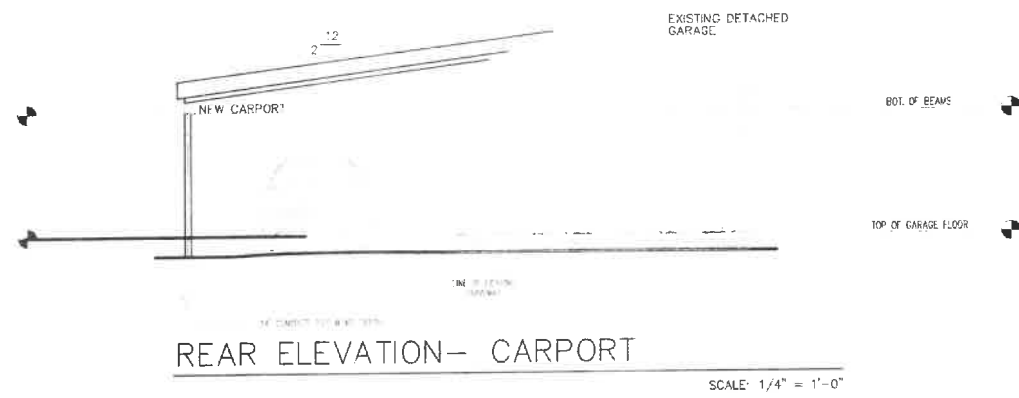
FRONT ELEVATION— CARPORT

SCALE: 1/4" = 1'-0"



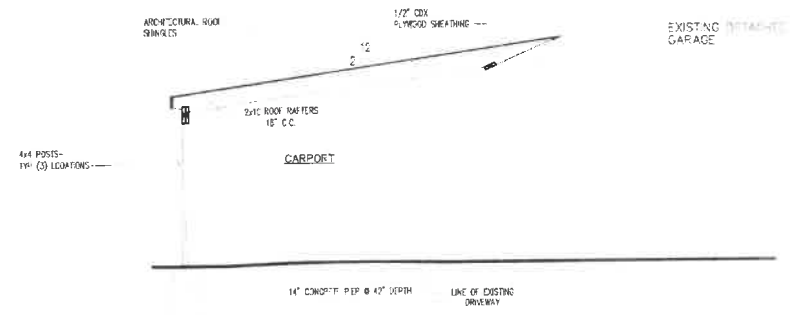
RIGHT ELEVATION— CARPORT

SCALE: 1/4" = 1'-0"



REAR ELEVATION— CARPORT

SCALE: 1/4" = 1'-0"



CROSS SECTION— CARPORT

SCALE: 1/4" = 1'-0"

AS-BUILT RESIDENTIAL ADDITION & CARPORT

P. CRIMI

35 BEEKMAN ST, TOWN OF Poughkeepsie, NEW YORK- JULY 15, 2022



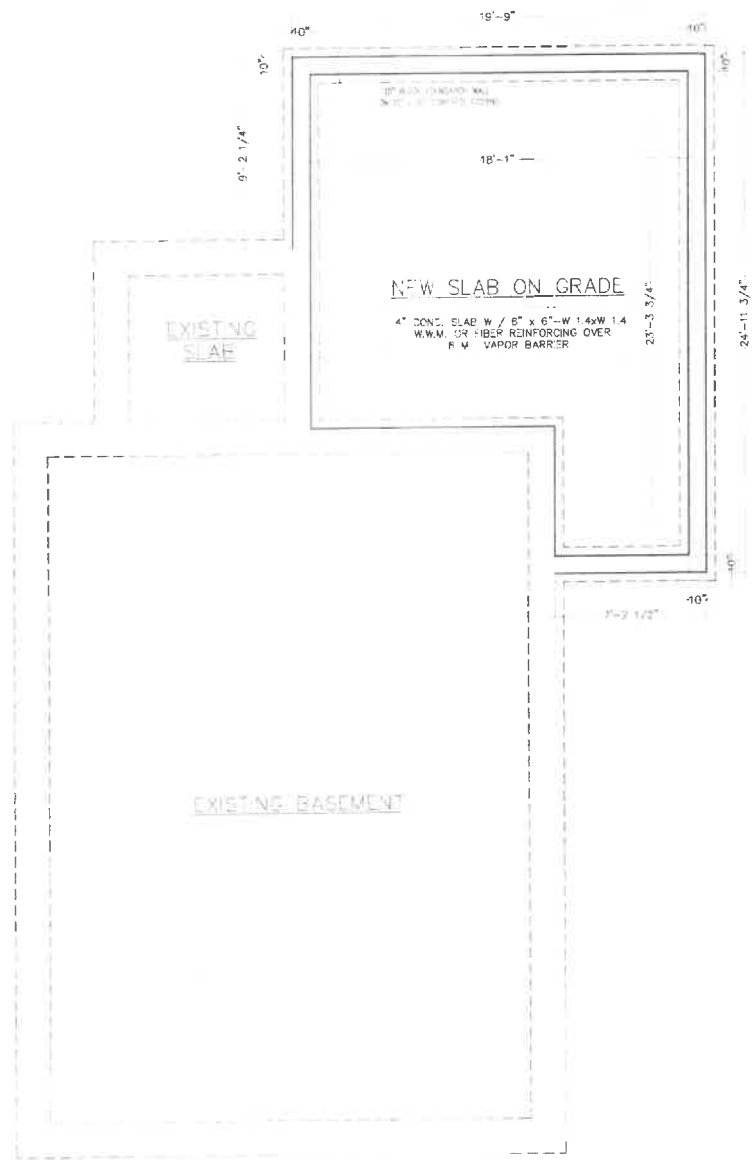
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 CHECKED BY: M.E.G.
 REVISIONS:



NYSPE #074666

SHEET No.

E2



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:

ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS
 ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.

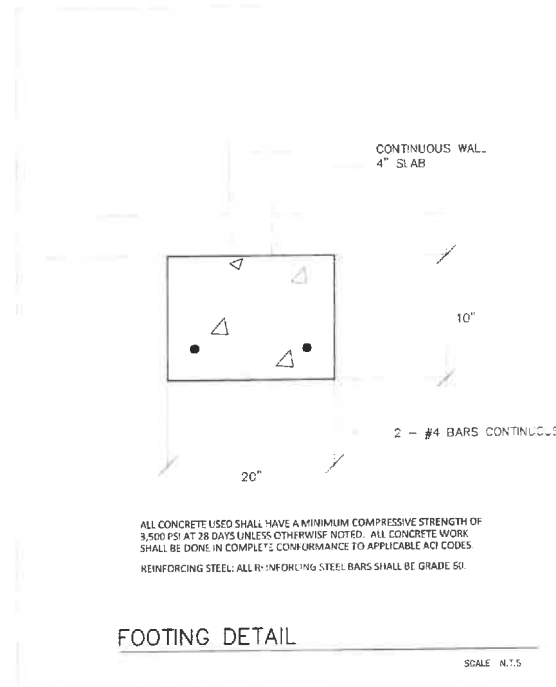
ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE SPRUCE-PINE-FIR #2 OR BETTER WITH A F_b RATING OF 875 AND A MODULUS OF ELASTICITY OF 1800000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A F_b RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.



FOOTING DETAIL

SCALE: N.T.S.

AS-BUILT RESIDENTIAL ADDITION & CARPORT

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35 BEEKMAN ST., TOWN OF POUGHKEEPSIE, NEW YORK-JULY 15, 2022

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 www.mgillespieandassociates.com

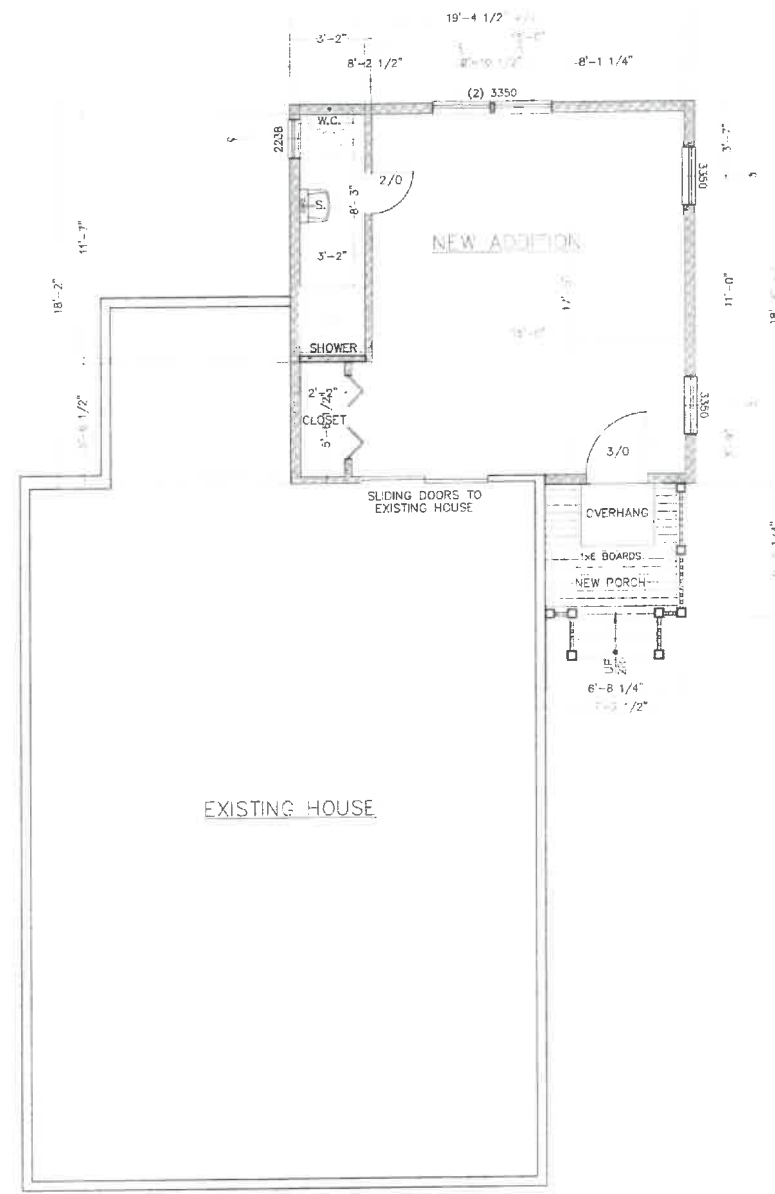
PROJECT No.	2022-126
DRAWN BY:	P.B.
CHECKED BY:	M.E.G.
REVISIONS	



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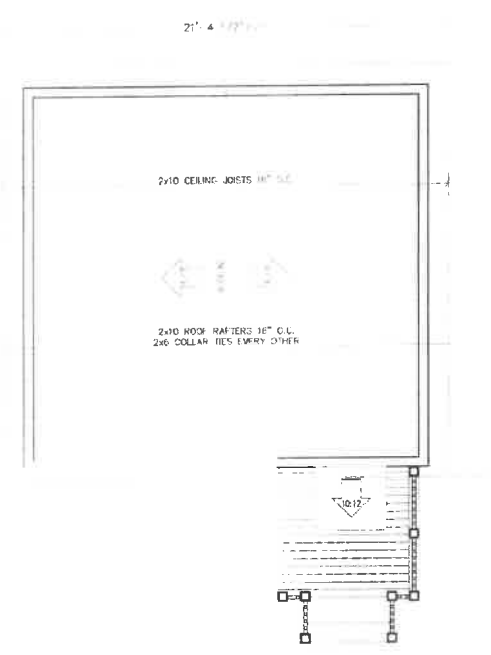
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P1



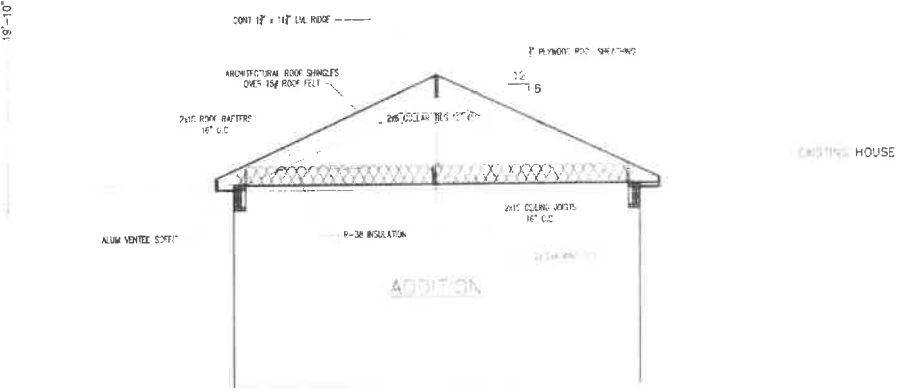
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



CROSS SECTION- ADDITION

SCALE: 1/4" = 1'-0"

CARPENT PLAN

SCALE: 1/4" = 1'-0"

LEGEND

	NEW WALL
	EXISTING WALL

AS-BUILT RESIDENTIAL ADDITION & CARPORT

P. CRIMI

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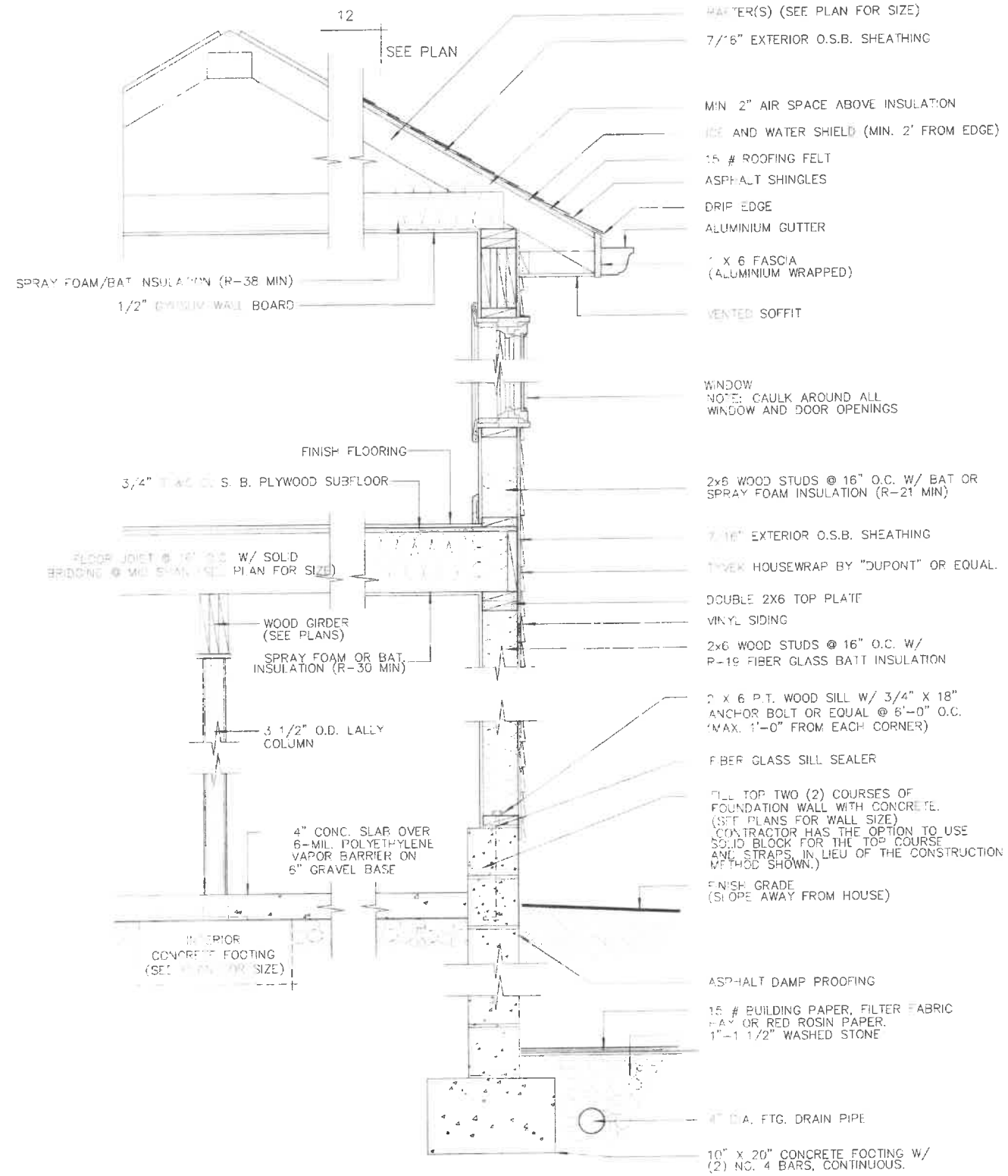


NYSPE #074666

SHEET No.

P2

ASPHALT SHINGLES SHALL HAVE A MINIMUM OF (6) FASTENERS PER SHINGLE WHEN LOCATED IN SPECIAL WIND ZONES



TYPICAL WALL SECTION

NOT TO SCALE

AS-BUILT RESIDENTIAL ADDITION & CARPORT

P. CRIMI

35 BEEKMAN ST, TOWN OF POUGHKEEPSIE, NEW YORK- JULY 15, 2022



PROJECT No.	2022-125
DRAWN BY	P.E.
CHECKED BY	M.E.G.
REVISIONS	



NYSPE #074666

SHEET No.

W1